

Arcadia Estate (East) - Stormwater Masterplan

- IMPORTANT NOTES:
1. THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN.
 2. THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF MAXIMUM YIELD P/L FOR DEVELOPMENT APPLICATION ONLY.
 3. ALL DIMENSIONS & AREAS WILL BE SUBJECT TO FINAL DESIGN AND LOT REGISTRATION.
 4. THIS LAYOUT IS INDICATIVE ONLY & SHALL NOT BE USED FOR CONSTRUCTION.
 5. DETAILED DESIGN TO BE PROVIDED WITH THE APPLICATION FOR SUBDIVISION WORKS CERTIFICATE FOR EACH STAGE.
 6. CONTOUR INTERVAL 0.5m.
 7. EXISTING SERVICES AS SHOWN HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. NO UNDERGROUND SERVICE LOCATION HAS BEEN UNDERTAKEN TO PREPARE THIS PLAN.
 8. BASE SURVEY PREPARED BY BROWN & KRIPNER Pty Ltd.

B	06/07/2023	FOR APPROVAL	CT
A	21/06/2023	PRELIMINARY	CT
Issue Date		Description	By



CSO ENGINEERS Pty Ltd All rights reserved 2013. Copyright in the whole and every part of this drawing belongs to CSO ENGINEERS Pty Ltd and may not be used, sold, transferred, copied or reproduced in whole or in part in any manner or form on any media to any person other than by agreement with CSO ENGINEERS Pty Ltd.

This document is produced by CSO ENGINEERS Pty Ltd solely for the benefit and use by the client in accordance with the terms of the client agreement. CSO ENGINEERS Pty Ltd does not, and shall not assume any responsibility or liability whatsoever to any third party on the content of the document.



CSO ENGINEERS
Taminda Business & Lifestyle Park
Level 2, 10/1a Wirraway Street
Tamworth NSW 2340
mail@csengineers.com t 0418 385 515
www.csengineers.com

PROJECT: **ARCADIA ESTATE**
LOCATION: **SOUTH TAMWORTH**
NSW 2340

DOCUMENT STAGE:
DA APPROVAL

DESCRIPTION: **SUBDIVISION LAYOUT**

CLIENT: **MAXIMUM YIELD & BURKES GULLY INVESTMENTS**

JOB NUMBER	SHEET	TITLE
C19291	6 of 20	SERVICE STORMWATER 1

DRAWN BY: **JT**

SCALE: **As Shown**

Dwg. No.	REV.	Size
SS01	B	A1

CHECKED BY: **CT**

C. Taylor



LEGEND

- Boundaries Proposed
- Stormwater Line Proposed
- Stormwater Kerb Inlet Pit Proposed
- Stormwater Headwall Proposed

North arrow pointing North (N), South (S), East (E), and West (W).

Scale bar: 0 to 20 Meters, 1:1250.

Contour Interval 0.5m

Joins Sheet SS03

Joins Sheet SS04

Arcadia Estate (East) - Stormwater Strategy Plan

- IMPORTANT NOTES:**
- THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF MAXIMUM YIELD P/L FOR DEVELOPMENT APPLICATION ONLY. ALL DIMENSIONS & AREAS WILL BE SUBJECT TO FINAL DESIGN AND LOT REGISTRATION.
 - THIS LAYOUT IS INDICATIVE ONLY & SHALL NOT BE USED FOR CONSTRUCTION.
 - DETAILED DESIGN TO BE PROVIDED WITH THE APPLICATION FOR SUBDIVISION WORKS CERTIFICATE FOR EACH STAGE.
 - CONTOUR INTERVAL 0.5m.
 - EXISTING SERVICES AS SHOWN HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. NO UNDERGROUND SERVICE LOCATION HAS BEEN UNDERTAKEN TO PREPARE THIS PLAN.
 - BASE SURVEY PREPARED BY BROWN & KRIPNER Pty Ltd.

B	06/07/2023	FOR APPROVAL	CT
A	21/06/2023	PRELIMINARY	CT
Issue Date		Description	By



CSO ENGINEERS Pty Ltd All rights reserved 2013. Copyright in the whole and every part of this drawing belongs to CSO ENGINEERS Pty Ltd and may not be used, sold, transferred, copied or reproduced in whole or in part in any manner or form on any media to any person other than by agreement with CSO ENGINEERS Pty Ltd.

This document is produced by CSO ENGINEERS Pty Ltd solely for the benefit and use by the client in accordance with the terms of the client agreement. CSO ENGINEERS Pty Ltd does not, and shall not assume any responsibility or liability whatsoever to any third party on the content of the document.



CSO ENGINEERS
Taminda Business & Lifestyle Park
Level 2, 10/1a Wirraway Street
Tamworth NSW 2340
mail@csengineers.com t 0418 385 515
www.csengineers.com

PROJECT: **ARCADIA ESTATE**
LOCATION: **SOUTH TAMWORTH NSW 2340**
DOCUMENT STAGE: **DA APPROVAL**

DESCRIPTION: **SUBDIVISION LAYOUT**
CLIENT: **MAXIMUM YIELD & BURKES GULLY INVESTMENTS**
JOB NUMBER: **C19291** SHEET: **7 of 20** TITLE: **SERVICE STORMWATER 2**

DRAWN BY: **JT** CHECKED BY: **CT**
SCALE: **As Shown**
Dwg. No. **SS02** REV. **B** Size **A1**

Joins Sheet SS02



Joins Sheet SS05

LEGEND

- Boundaries Proposed
- Stormwater Line Proposed
- Stormwater Kerb Inlet Pit Proposed
- Stormwater Headwall Proposed

North arrow pointing North (N), West (W), East (E), and South (S). Scale bar: 0 to 25 Meters. Contour Interval 0.5m.

- IMPORTANT NOTES:**
- THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF MAXIMUM YIELD P/L FOR DEVELOPMENT APPLICATION ONLY.
 - ALL DIMENSIONS & AREAS WILL BE SUBJECT TO FINAL DESIGN AND LOT REGISTRATION.
 - THIS LAYOUT IS INDICATIVE ONLY & SHALL NOT BE USED FOR CONSTRUCTION.
 - DETAILED DESIGN TO BE PROVIDED WITH THE APPLICATION FOR SUBDIVISION WORKS CERTIFICATE FOR EACH STAGE.
 - CONTOUR INTERVAL 0.5m.
 - EXISTING SERVICES AS SHOWN HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. NO SERVICE UNDERGROUND SERVICE LOCATION HAS BEEN UNDERTAKEN TO PREPARE THIS PLAN.
 - BASE SURVEY PREPARED BY BROWN & KRIPNER Pty Ltd.

Arcadia Estate (East) - Stormwater Strategy Plan

B	06/07/2023	FOR APPROVAL	CT
A	21/06/2023	PRELIMINARY	CT
Issue Date		Description	By



CSO ENGINEERS Pty Ltd All rights reserved 2013. Copyright in the whole and every part of this drawing belongs to CSO ENGINEERS Pty Ltd and may not be used, sold, transferred, copied or reproduced in whole or in part in any manner or form on any media to any person other than by agreement with CSO ENGINEERS Pty Ltd.

This document is produced by CSO ENGINEERS Pty Ltd solely for the benefit and use by the client in accordance with the terms of the client agreement. CSO ENGINEERS Pty Ltd does not, and shall not assume any responsibility or liability whatsoever to any third party on the content of the document.



CSO ENGINEERS
Taminda Business & Lifestyle Park
Level 2, 10/1a Wirraway Street
Tamworth NSW 2340
mail@csengineers.com t 0418 385 515
www.csoengineers.com

PROJECT: **ARCADIA ESTATE**
LOCATION: **SOUTH TAMWORTH
NSW 2340**

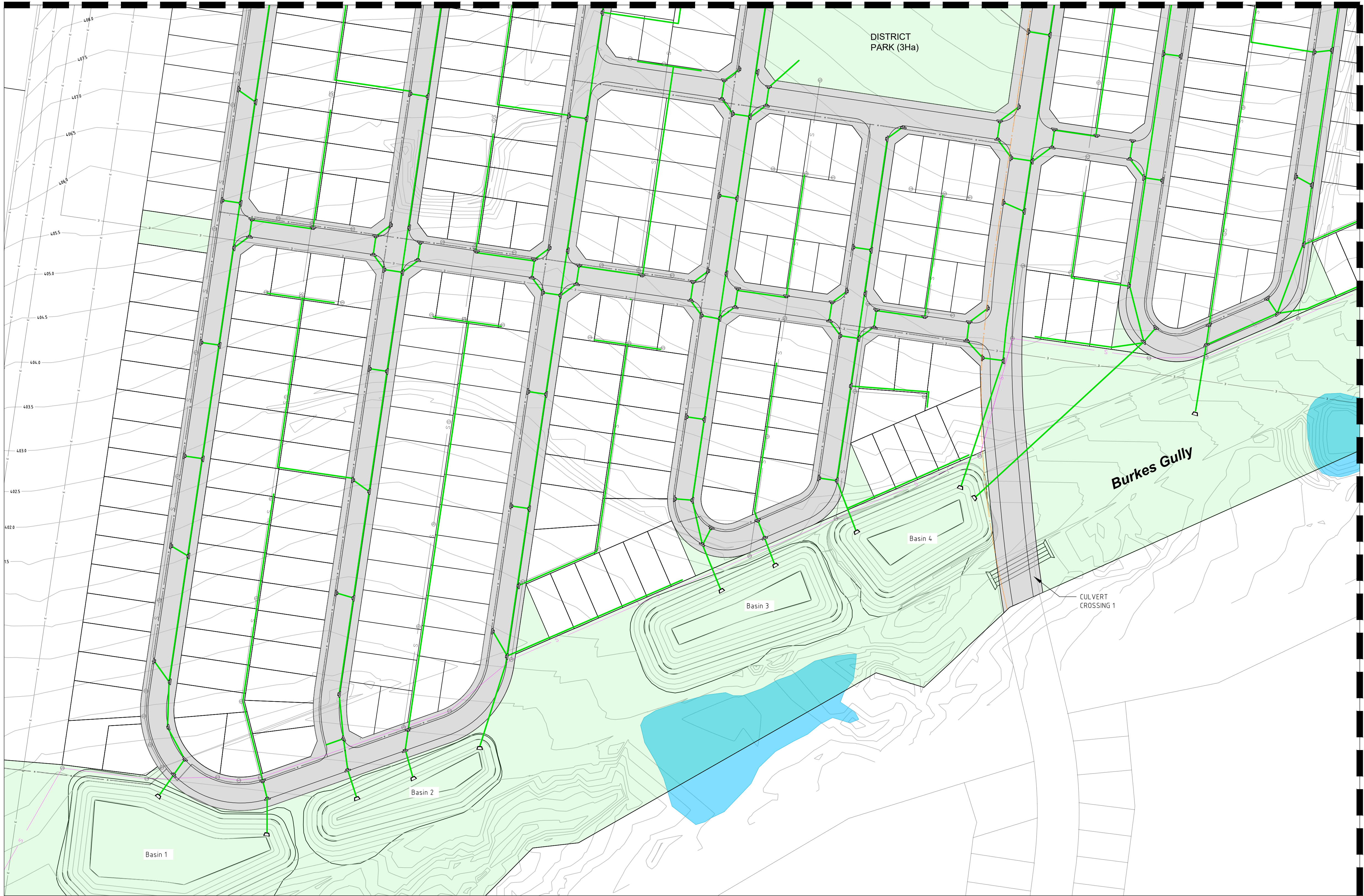
DOCUMENT STAGE:
DA APPROVAL

DESCRIPTION: **SUBDIVISION LAYOUT**

CLIENT: **MAXIMUM YIELD & BURKES GULLY INVESTMENTS**

JOB NUMBER	SHEET	TITLE
C19291	8 of 20	SERVICE STORMWATER 3

DRAWN BY: JT	CHECKED BY: CT	
<i>John Taylor</i>	<i>C. Taylor</i>	
SCALE: As Shown		
Dwg. No.	REV.	Size
SS03	B	A1



LEGEND

- Boundaries Proposed
- Stormwater Line Proposed
- Stormwater Kerb Inlet Pit Proposed
- Stormwater Headwall Proposed

North arrow pointing North (N), South (S), East (E), and West (W).
Scale bar: 0 to 20 meters.
Contour Interval 0.5m

Joins Sheet SS05

Arcadia Estate (East) - Stormwater Strategy Plan

- IMPORTANT NOTES:**
- THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF MAXIMUM YIELD P/L FOR DEVELOPMENT APPLICATION ONLY.
 - ALL DIMENSIONS & AREAS WILL BE SUBJECT TO FINAL DESIGN AND LOT REGISTRATION.
 - THIS LAYOUT IS INDICATIVE ONLY & SHALL NOT BE USED FOR CONSTRUCTION.
 - DETAILED DESIGN TO BE PROVIDED WITH THE APPLICATION FOR SUBDIVISION WORKS CERTIFICATE FOR EACH STAGE.
 - CONTOUR INTERVAL 0.5m.
 - EXISTING SERVICES AS SHOWN HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. NO UNDERGROUND SERVICE LOCATION HAS BEEN UNDERTAKEN TO PREPARE THIS PLAN.
 - BASE SURVEY PREPARED BY BROWN & KRIPNER Pty Ltd.

B	06/07/2023	FOR APPROVAL	CT
A	21/06/2023	PRELIMINARY	CT
Issue Date		Description	By



CSO ENGINEERS Pty Ltd All rights reserved 2013. Copyright in the whole and every part of this drawing belongs to CSO ENGINEERS Pty Ltd and may not be used, sold, transferred, copied or reproduced in whole or in part in any manner or form on any media to any person other than by agreement with CSO ENGINEERS Pty Ltd.

This document is produced by CSO ENGINEERS Pty Ltd solely for the benefit and use by the client in accordance with the terms of the client agreement. CSO ENGINEERS Pty Ltd does not, and shall not assume any responsibility or liability whatsoever to any third party on the content of the document.



CSO ENGINEERS
Taminda Business & Lifestyle Park
Level 2, 10/1a Wirraway Street
Tamworth NSW 2340
mail@csengineers.com t 0418 385 515
www.csengineers.com

PROJECT: **ARCADIA ESTATE**
LOCATION: **SOUTH TAMWORTH**
NSW 2340

DOCUMENT STAGE:
DA APPROVAL

DESCRIPTION: **SUBDIVISION LAYOUT**

CLIENT: **MAXIMUM YIELD & BURKES GULLY INVESTMENTS**

JOB NUMBER	SHEET	TITLE
C19291	9 of 20	SERVICE STORMWATER 4

DRAWN BY: **JT**

John Taylor

SCALE: **As Shown**

CHECKED BY: **CT**

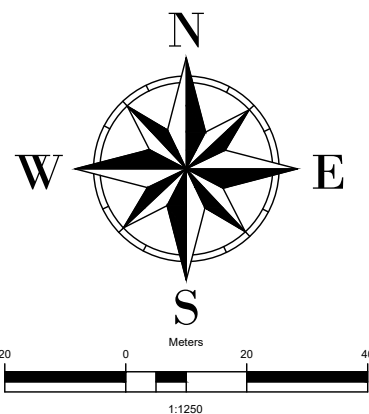
C. Taylor

Dwg. No.	REV.	Size
SS04	B	A1

Joins Sheet SS02

LEGEND

- Boundaries Proposed
Stormwater Line Proposed
Stormwater Kerb Inlet Pit Proposed
Stormwater Headwall Proposed



Contour Interval 0.5m

Joins Sheet SS04

Arcadia Estate (East) - Stormwater Strategy Plan

- IMPORTANT NOTES:
- THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF MAXIMUM YIELD P/L FOR DEVELOPMENT APPLICATION ONLY. ALL DIMENSIONS & AREAS WILL BE SUBJECT TO FINAL DESIGN AND LOT REGISTRATION.
 - THIS LAYOUT IS INDICATIVE ONLY & SHALL NOT BE USED FOR CONSTRUCTION.
 - DETAILED DESIGN TO BE PROVIDED WITH THE APPLICATION FOR SUBDIVISION WORKS CERTIFICATE FOR EACH STAGE.
 - CONTOUR INTERVAL 0.5m.
 - EXISTING SERVICES AS SHOWN HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. NO UNDERGROUND SERVICE LOCATION HAS BEEN UNDERTAKEN TO PREPARE THIS PLAN.
 - BASE SURVEY PREPARED BY BROWN & KRIPNER Pty Ltd.

B	06/07/2023	FOR APPROVAL	CT
A	21/06/2023	PRELIMINARY	CT
Issue Date		Description	By



CSO ENGINEERS Pty Ltd All rights reserved 2013. Copyright in the whole and every part of this drawing belongs to CSO ENGINEERS Pty Ltd and may not be used, sold, transferred, copied or reproduced in whole or in part in any manner or form on any media to any person other than by agreement with CSO ENGINEERS Pty Ltd.

This document is produced by CSO ENGINEERS Pty Ltd solely for the benefit and use by the client in accordance with the terms of the client agreement. CSO ENGINEERS Pty Ltd does not, and shall not assume any responsibility or liability whatsoever to any third party on the content of the document.



CSO ENGINEERS
Taminda Business & Lifestyle Park
Level 2, 10/1a Wirraway Street
Tamworth NSW 2340
mail@csengineers.com t 0418 385 515
www.csoengineers.com

PROJECT: **ARCADIA ESTATE**
LOCATION: **SOUTH TAMWORTH**
NSW 2340

DOCUMENT STAGE:
DA APPROVAL

DESCRIPTION: **SUBDIVISION LAYOUT**

CLIENT: **MAXIMUM YEILD & BURKES GULLY INVESTMENTS**

JOB NUMBER	SHEET	TITLE
C19291	10 of 20	SERVICE STORMWATER 5

DRAWN BY: **JT**

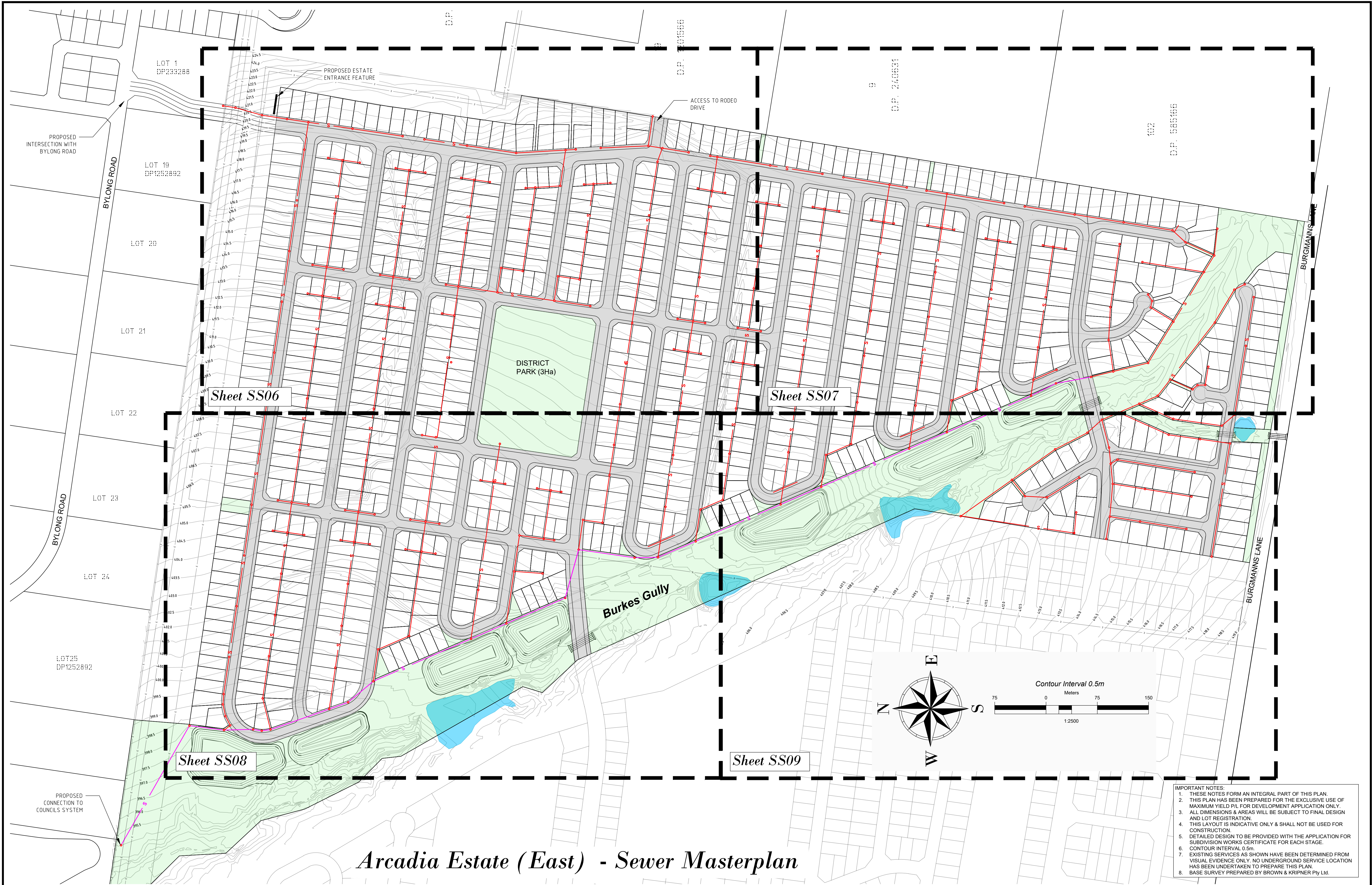
John Taylor

CHECKED BY: **CT**

C. Taylor

SCALE: **As Shown**

Dwg. No.	REV.	Size
SS05	B	A1



Arcadia Estate (East) - Sewer Masterplan

- IMPORTANT NOTES:
1. THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN.
 2. THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF MAXIMUM YIELD P/L FOR DEVELOPMENT APPLICATION ONLY.
 3. ALL DIMENSIONS & AREAS WILL BE SUBJECT TO FINAL DESIGN AND LOT REGISTRATION.
 4. THIS LAYOUT IS INDICATIVE ONLY & SHALL NOT BE USED FOR CONSTRUCTION.
 5. DETAILED DESIGN TO BE PROVIDED WITH THE APPLICATION FOR SUBDIVISION WORKS CERTIFICATE FOR EACH STAGE.
 6. CONTOUR INTERVAL 0.5m.
 7. EXISTING SERVICES AS SHOWN HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. NO UNDERGROUND SERVICE LOCATION HAS BEEN UNDERTAKEN TO PREPARE THIS PLAN.
 8. BASE SURVEY PREPARED BY BROWN & KRIPNER Pty Ltd.

B	06/07/2023	FOR APPROVAL	CT
A	21/06/2023	PRELIMINARY	CT
Issue Date		Description	By



CSO ENGINEERS Pty Ltd All rights reserved 2013. Copyright in the whole and every part of this drawing belongs to CSO ENGINEERS Pty Ltd and may not be used, sold, transferred, copied or reproduced in whole or in part in any manner or form on any media to any person other than by agreement with CSO ENGINEERS Pty Ltd.

This document is produced by CSO ENGINEERS Pty Ltd solely for the benefit and use by the client in accordance with the terms of the client agreement. CSO ENGINEERS Pty Ltd does not, and shall not assume any responsibility or liability whatsoever to any third party on the content of the document.



CSO ENGINEERS
Taminda Business & Lifestyle Park
Level 2, 10/1a Wirraway Street
Tamworth NSW 2340
mail@csengineers.com t 0418 385 515
www.csengineers.com

PROJECT: **ARCADIA ESTATE**
LOCATION: **SOUTH TAMWORTH
NSW 2340**

DOCUMENT STAGE:
DA APPROVAL

DESCRIPTION: **SUBDIVISION LAYOUT**

CLIENT: **MAXIMUM YIELD & BURKES GULLY INVESTMENTS**

JOB NUMBER	SHEET	TITLE
C19291	9 of 20	SERVICE STORMWATER 4

DRAWN BY: **JT**

SCALE: **As Shown**

Dwg. No.	REV.	Size
SS04	B	A1

CHECKED BY: **CT**



LEGEND

Boundaries Proposed

Proposed Sewer 1500mm

Proposed Sewer 2250mm

S

Stormwater Headwall Proposed

N

W

E

S

0 10 20 30 Meters

Contour Interval 0.5m

Joins Sheet SS07

Joins Sheet SS08

Arcadia Estate (East) - Sewer Strategy Plan

NOTE: Approximate sewer grade shown based on preliminary design only.

- IMPORTANT NOTES:
- THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF MAXIMUM YIELD PIL FOR DEVELOPMENT APPLICATION ONLY.
 - ALL DIMENSIONS & AREAS WILL BE SUBJECT TO FINAL DESIGN AND LOT REGISTRATION.
 - THIS LAYOUT IS INDICATIVE ONLY & SHALL NOT BE USED FOR CONSTRUCTION.
 - DETAILED DESIGN TO BE PROVIDED WITH THE APPLICATION FOR SUBDIVISION WORKS CERTIFICATE FOR EACH STAGE.
 - CONTOUR INTERVAL 0.5m.
 - EXISTING SERVICES AS SHOWN HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. NO UNDERGROUND SERVICE LOCATION HAS BEEN UNDERTAKEN TO PREPARE THIS PLAN.
 - BASE SURVEY PREPARED BY BROWN & KRIPNER Pty Ltd.

B	06/07/2023	FOR APPROVAL	CT
A	21/06/2023	PRELIMINARY	CT
Issue Date		Description	By



CSO ENGINEERS Pty Ltd All rights reserved 2013. Copyright in the whole and every part of this drawing belongs to CSO ENGINEERS Pty Ltd and may not be used, sold, transferred, copied or reproduced in whole or in part in any manner or form on any media to any person other than by agreement with CSO ENGINEERS Pty Ltd.

This document is produced by CSO ENGINEERS Pty Ltd solely for the benefit and use by the client in accordance with the terms of the client agreement. CSO ENGINEERS Pty Ltd does not, and shall not assume any responsibility or liability whatsoever to any third party on the content of the document.



CSO ENGINEERS
Taminda Business & Lifestyle Park
Level 2, 10/1a Wirraway Street
Tamworth NSW 2340
mail@csengineers.com t 0418 385 515
www.csoengineers.com

PROJECT: **ARCADIA ESTATE**
LOCATION: **SOUTH TAMWORTH**
NSW 2340

DOCUMENT STAGE:
DA APPROVAL

DESCRIPTION: **SUBDIVISION LAYOUT**

CLIENT: **MAXIMUM YIELD & BURKES GULLY INVESTMENTS**

JOB NUMBER	SHEET	TITLE
C19291	12 of 20	SEWER SERVICE 2

DRAWN BY: **JT**

CHECKED BY: **CT**

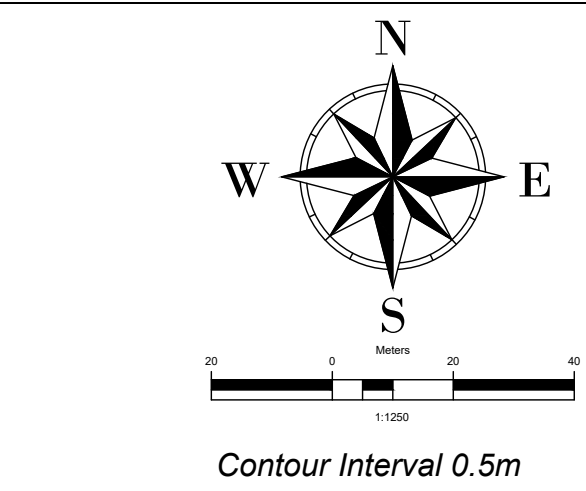
SCALE: **As Shown**

Dwg. No.	REV.	Size
SS07	B	A1

Joins Sheet SS06



- LEGEND**
- Boundaries Proposed
 - Proposed Sewer 1500mm
 - Proposed Sewer 2250mm
 - Stormwater Headwall Proposed



Joins Sheet SS09

Arcadia Estate (East) - Sewer Strategy Plan

NOTE: Approximate sewer grade shown based on preliminary design only.

- IMPORTANT NOTES:**
- THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF MAXIMUM YIELD P/L FOR DEVELOPMENT APPLICATION ONLY.
 - ALL DIMENSIONS & AREAS WILL BE SUBJECT TO FINAL DESIGN AND LOT REGISTRATION.
 - THIS LAYOUT IS INDICATIVE ONLY & SHALL NOT BE USED FOR CONSTRUCTION.
 - DETAILED DESIGN TO BE PROVIDED WITH THE APPLICATION FOR SUBDIVISION WORKS CERTIFICATE FOR EACH STAGE.
 - CONTOUR INTERVAL 0.5m.
 - EXISTING SERVICES AS SHOWN HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. NO UNDERGROUND SERVICE LOCATION HAS BEEN UNDERTAKEN TO PREPARE THIS PLAN.
 - BASE SURVEY PREPARED BY BROWN & KRIPNER Pty Ltd.

B	06/07/2023	FOR APPROVAL	CT
A	21/06/2023	PRELIMINARY	CT
Issue Date		Description	By



CSO ENGINEERS Pty Ltd All rights reserved 2013. Copyright in the whole and every part of this drawing belongs to CSO ENGINEERS Pty Ltd and may not be used, sold, transferred, copied or reproduced in whole or in part in any manner or form on any media to any person other than by agreement with CSO ENGINEERS Pty Ltd.

This document is produced by CSO ENGINEERS Pty Ltd solely for the benefit and use by the client in accordance with the terms of the client agreement. CSO ENGINEERS Pty Ltd does not, and shall not assume any responsibility or liability whatsoever to any third party on the content of the document.



CSO ENGINEERS
Taminda Business & Lifestyle Park
Level 2, 10/1a Wirraway Street
Tamworth NSW 2340
mail@csengineers.com t 0418 385 515
www.csoengineers.com

PROJECT: **ARCADIA ESTATE**
LOCATION: **SOUTH TAMWORTH
NSW 2340**

DOCUMENT STAGE:
DA APPROVAL

DESCRIPTION: **SUBDIVISION LAYOUT**

CLIENT: **MAXIMUM YIELD & BURKES GULLY INVESTMENTS**

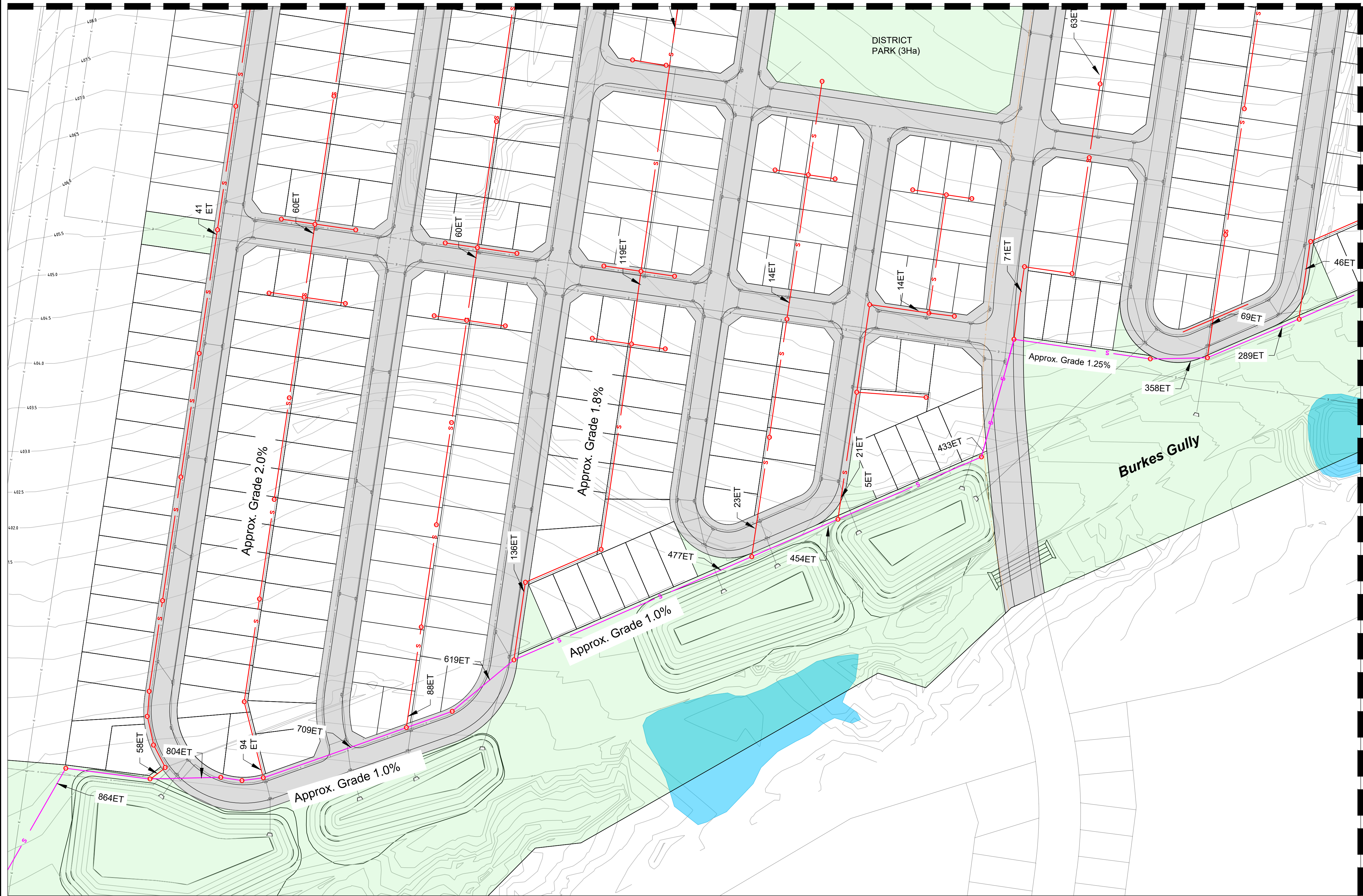
JOB NUMBER	SHEET	TITLE
C19291	13 of 20	SEWER SERVICE 3

DRAWN BY: **JT**

CHECKED BY: **CT**

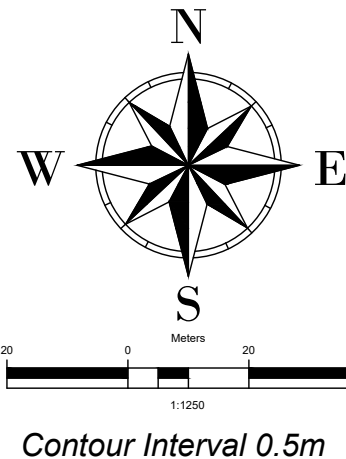
SCALE: **As Shown**

Dwg. No.	REV.	Size
SS08	B	A1



LEGEND

- Boundaries Proposed
- Proposed Sewer 1500mm
- Proposed Sewer 2250mm
- Stormwater Headwall Proposed



Joins Sheet SS09

Arcadia Estate (East) - Sewer Strategy Plan

NOTE: Approximate sewer grade shown based on preliminary design only.

- IMPORTANT NOTES:
- THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF MAXIMUM YIELD P/L FOR DEVELOPMENT APPLICATION ONLY.
 - ALL DIMENSIONS & AREAS WILL BE SUBJECT TO FINAL DESIGN AND LOT REGISTRATION.
 - THIS LAYOUT IS INDICATIVE ONLY & SHALL NOT BE USED FOR CONSTRUCTION.
 - DETAILED DESIGN TO BE PROVIDED WITH THE APPLICATION FOR SUBDIVISION WORKS CERTIFICATE FOR EACH STAGE.
 - CONTOUR INTERVAL 0.5m.
 - EXISTING SERVICES AS SHOWN HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. NO UNDERGROUND SERVICE LOCATION HAS BEEN UNDERTAKEN TO PREPARE THIS PLAN.
 - BASE SURVEY PREPARED BY BROWN & KRIPNER Pty Ltd.

B	06/07/2023	FOR APPROVAL	CT
A	21/06/2023	PRELIMINARY	CT
Issue Date		Description	By



CSO ENGINEERS Pty Ltd All rights reserved 2013. Copyright in the whole and every part of this drawing belongs to CSO ENGINEERS Pty Ltd and may not be used, sold, transferred, copied or reproduced in whole or in part in any manner or form on any media to any person other than by agreement with CSO ENGINEERS Pty Ltd.

This document is produced by CSO ENGINEERS Pty Ltd solely for the benefit and use by the client in accordance with the terms of the client agreement. CSO ENGINEERS Pty Ltd does not, and shall not assume any responsibility or liability whatsoever to any third party on the content of the document.



CSO ENGINEERS
Taminda Business & Lifestyle Park
Level 2, 10/1a Wirraway Street
Tamworth NSW 2340
mail@csengineers.com t 0418 385 515
www.csengineers.com

PROJECT: **ARCADIA ESTATE**
LOCATION: **SOUTH TAMWORTH**
NSW 2340

DOCUMENT STAGE:
DA APPROVAL

DESCRIPTION: **SUBDIVISION LAYOUT**

CLIENT: **MAXIMUM YIELD & BURKES GULLY INVESTMENTS**

JOB NUMBER	SHEET	TITLE
C19291	14 of 20	SEWER SERVICE 4

DRAWN BY: **JT**

John Taylor

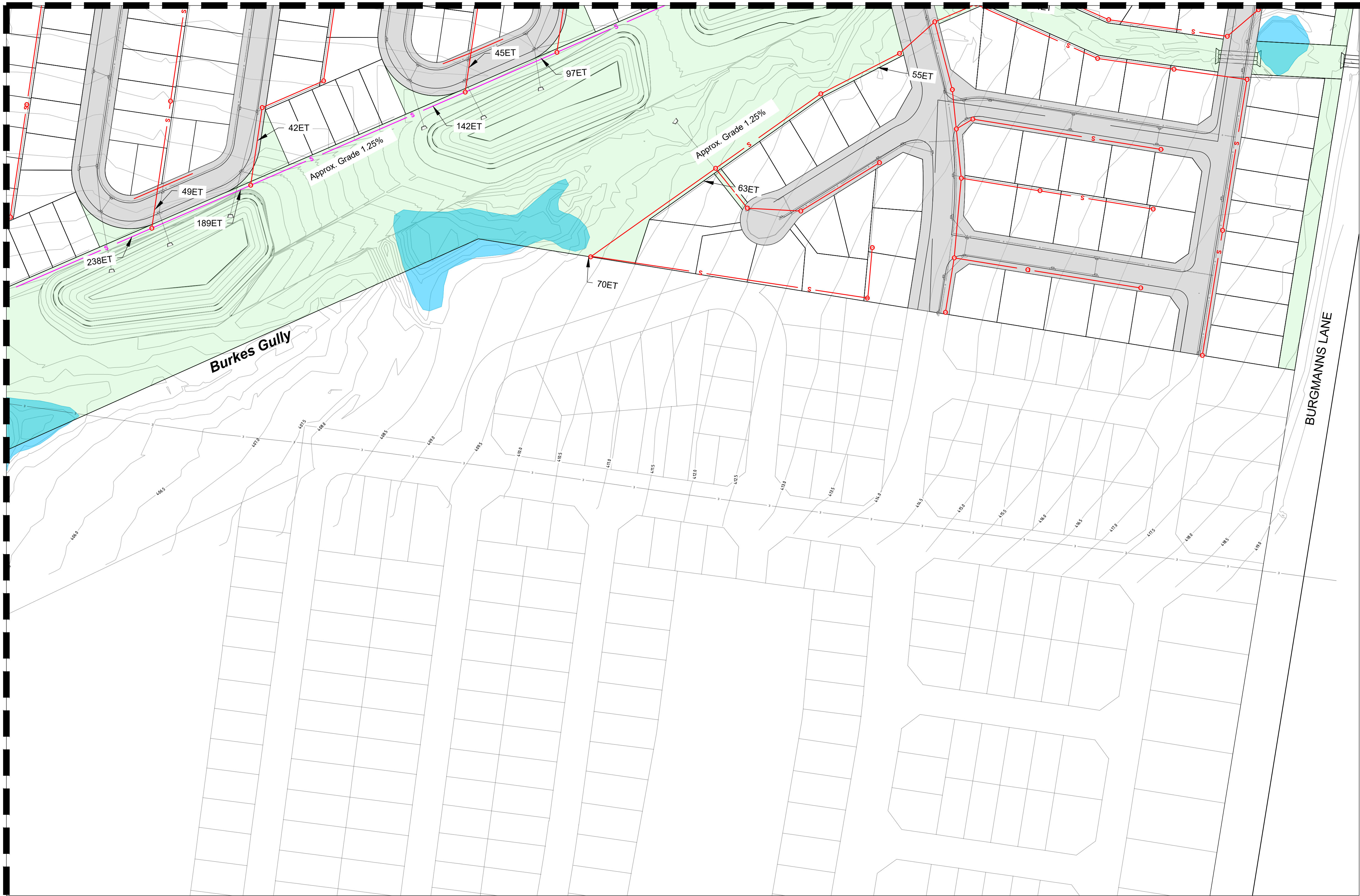
SCALE: **As Shown**

Dwg. No.	REV.	Size
SS09	B	A1

LEGEND

- Boundaries Proposed
- Proposed Sewer 1500mm
- Proposed Sewer 2250mm
- Stormwater Headwall Proposed

North arrow pointing North (N), West (W), East (E), and South (S). Scale bar showing 0, 10, 20, 30, 40 meters. Contour Interval 0.5m.



- IMPORTANT NOTES:**
- THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF MAXIMUM YIELD P/L FOR DEVELOPMENT APPLICATION ONLY.
 - ALL DIMENSIONS & AREAS WILL BE SUBJECT TO FINAL DESIGN AND LOT REGISTRATION.
 - THIS LAYOUT IS INDICATIVE ONLY & SHALL NOT BE USED FOR CONSTRUCTION.
 - DETAILED DESIGN TO BE PROVIDED WITH THE APPLICATION FOR SUBDIVISION WORKS CERTIFICATE FOR EACH STAGE.
 - CONTOUR INTERVAL 0.5m.
 - EXISTING SERVICES AS SHOWN HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. NO UNDERGROUND SERVICE LOCATION HAS BEEN UNDERTAKEN TO PREPARE THIS PLAN.
 - BASE SURVEY PREPARED BY BROWN & KRIPNER Pty Ltd.

Arcadia Estate (East) - Sewer Strategy Plan

NOTE: Approximate sewer grade shown based on preliminary design only.

B	06/07/2023	FOR APPROVAL	CT
A	21/06/2023	PRELIMINARY	CT
Issue Date		Description	By



CSO ENGINEERS Pty Ltd All rights reserved 2013. Copyright in the whole and every part of this drawing belongs to CSO ENGINEERS Pty Ltd and may not be used, sold, transferred, copied or reproduced in whole or in part in any manner or form on any media to any person other than by agreement with CSO ENGINEERS Pty Ltd.

This document is produced by CSO ENGINEERS Pty Ltd solely for the benefit and use by the client in accordance with the terms of the client agreement. CSO ENGINEERS Pty Ltd does not, and shall not assume any responsibility or liability whatsoever to any third party on the content of the document.



CSO ENGINEERS
Taminda Business & Lifestyle Park
Level 2, 10/1a Wirraway Street
Tamworth NSW 2340
mail@csengineers.com t 0418 385 515
www.csoengineers.com

PROJECT: **ARCADIA ESTATE**
LOCATION: **SOUTH TAMWORTH
NSW 2340**

DOCUMENT STAGE:
DA APPROVAL

DESCRIPTION: **SUBDIVISION LAYOUT**

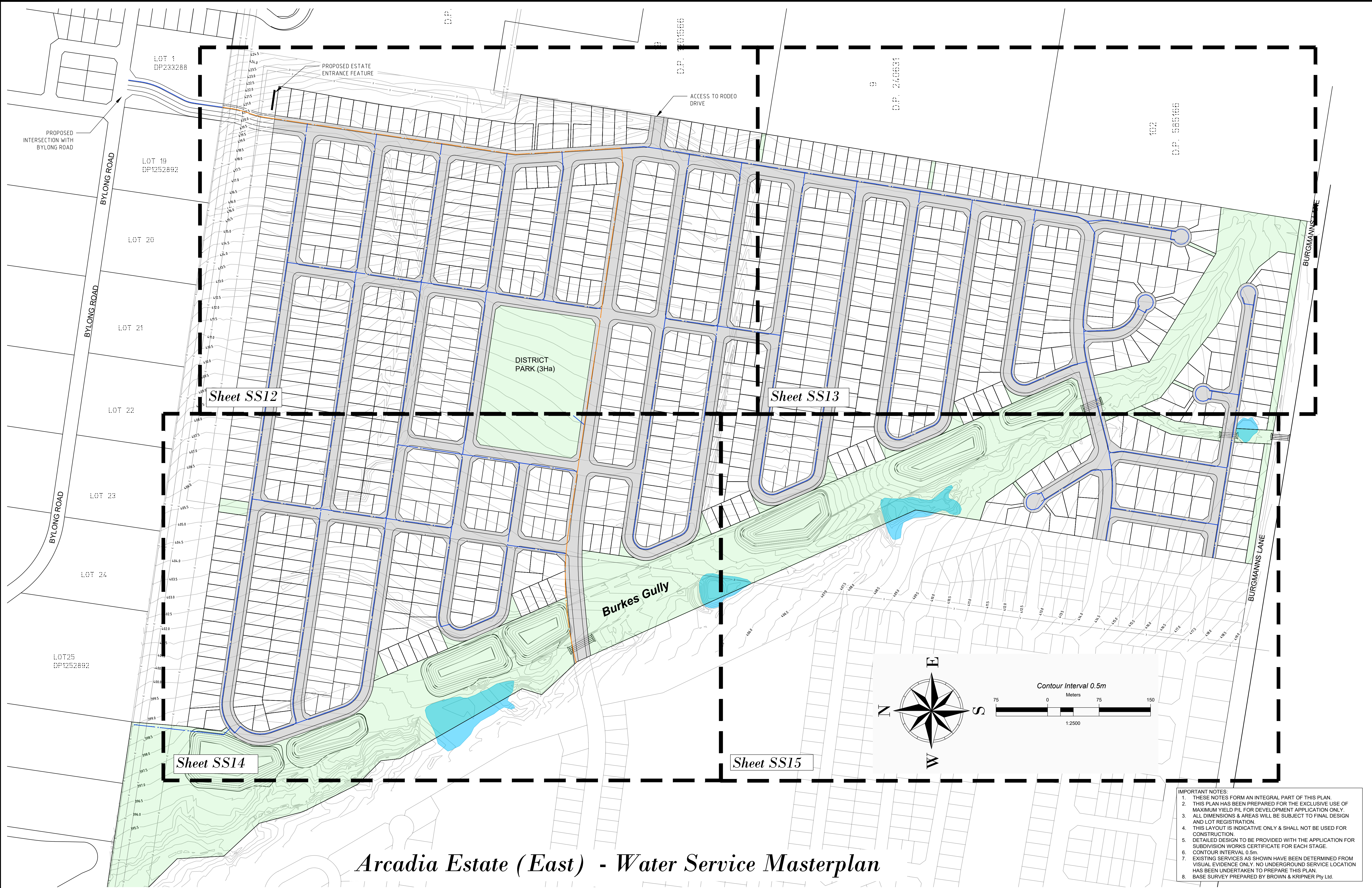
JOB NUMBER	SHEET	TITLE
C19291	15 of 20	SEWER SERVICE 5

DRAWN BY: **JT**

CHECKED BY: **CT**

SCALE: **As Shown**

Dwg. No.	REV.	Size
SS10	B	A1



Arcadia Estate (East) - Water Service Masterplan

- IMPORTANT NOTES:
1. THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN.
 2. THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF MAXIMUM YIELD P/L FOR DEVELOPMENT APPLICATION ONLY.
 3. ALL DIMENSIONS & AREAS WILL BE SUBJECT TO FINAL DESIGN AND LOT REGISTRATION.
 4. THIS LAYOUT IS INDICATIVE ONLY & SHALL NOT BE USED FOR CONSTRUCTION.
 5. DETAILED DESIGN TO BE PROVIDED WITH THE APPLICATION FOR SUBDIVISION WORKS CERTIFICATE FOR EACH STAGE.
 6. CONTOUR INTERVAL 0.5m.
 7. EXISTING SERVICES AS SHOWN HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. NO UNDERGROUND SERVICE LOCATION HAS BEEN UNDERTAKEN TO PREPARE THIS PLAN.
 8. BASE SURVEY PREPARED BY BROWN & KRIPNER Pty Ltd.

B	06/07/2023	FOR APPROVAL	CT
A	21/06/2023	PRELIMINARY	CT
Issue Date		Description	By



CSO ENGINEERS Pty Ltd All rights reserved 2013. Copyright in the whole and every part of this drawing belongs to CSO ENGINEERS Pty Ltd and may not be used, sold, transferred, copied or reproduced in whole or in part in any manner or form on any media to any person other than by agreement with CSO ENGINEERS Pty Ltd.

This document is produced by CSO ENGINEERS Pty Ltd solely for the benefit and use by the client in accordance with the terms of the client agreement. CSO ENGINEERS Pty Ltd does not, and shall not assume any responsibility or liability whatsoever to any third party on the content of the document.



CSO ENGINEERS
Taminda Business & Lifestyle Park
Level 2, 10/1a Wirraway Street
Tamworth NSW 2340
mail@csengineers.com t 0418 385 515
www.csoengineers.com

PROJECT: **ARCADIA ESTATE**
LOCATION: **SOUTH TAMWORTH
NSW 2340**

DOCUMENT STAGE:
DA APPROVAL

DESCRIPTION: **SUBDIVISION LAYOUT**

CLIENT: **MAXIMUM YIELD & BURKES GULLY INVESTMENTS**

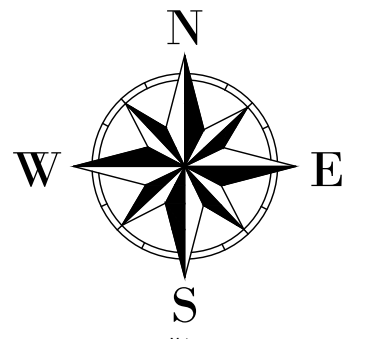
JOB NUMBER	SHEET	TITLE
C19291	16 of 20	WATER SERVICE 1

DRAWN BY: JT	CHECKED BY: CT	
SCALE: As Shown		
Dwg. No.	REV.	Size
SS11	B	A1



LEGEND

- Boundaries Proposed
- Proposed Water main DN1500mm
- Proposed Water main DN3000mm



Contour Interval 0.5m

Joins Sheet SS013

Joins Sheet SS014

- IMPORTANT NOTES:
- THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF MAXIMUM YIELD P/L FOR DEVELOPMENT APPLICATION ONLY.
 - ALL DIMENSIONS & AREAS WILL BE SUBJECT TO FINAL DESIGN AND LOT REGISTRATION.
 - THIS LAYOUT IS INDICATIVE ONLY & SHALL NOT BE USED FOR CONSTRUCTION.
 - DETAILED DESIGN TO BE PROVIDED WITH THE APPLICATION FOR SUBDIVISION WORKS CERTIFICATE FOR EACH STAGE.
 - CONTOUR INTERVAL 0.5m.
 - EXISTING SERVICES AS SHOWN HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. NO UNDERGROUND SERVICE LOCATION HAS BEEN UNDERTAKEN TO PREPARE THIS PLAN.
 - BASE SURVEY PREPARED BY BROWN & KRIPNER Pty Ltd.

Arcadia Estate (East) - Water Strategy Plan

B	06/07/2023	FOR APPROVAL	CT
A	21/06/2023	PRELIMINARY	CT
Issue Date		Description	By



CSO ENGINEERS Pty Ltd All rights reserved 2013. Copyright in the whole and every part of this drawing belongs to CSO ENGINEERS Pty Ltd and may not be used, sold, transferred, copied or reproduced in whole or in part in any manner or form on any media to any person other than by agreement with CSO ENGINEERS Pty Ltd.

This document is produced by CSO ENGINEERS Pty Ltd solely for the benefit and use by the client in accordance with the terms of the client agreement. CSO ENGINEERS Pty Ltd does not, and shall not assume any responsibility or liability whatsoever to any third party on the content of the document.



CSO ENGINEERS
Taminda Business & Lifestyle Park
Level 2, 10/1a Wirraway Street
Tamworth NSW 2340
mail@csengineers.com t 0418 385 515
www.csoengineers.com

PROJECT: **ARCADIA ESTATE**
LOCATION: **SOUTH TAMWORTH**
NSW 2340

DOCUMENT STAGE:
DA APPROVAL

DESCRIPTION: **SUBDIVISION LAYOUT**

CLIENT: **MAXIMUM YIELD & BURKES GULLY INVESTMENTS**

JOB NUMBER	SHEET	TITLE
C19291	17 of 20	WATER SERVICE 2

DRAWN BY: **JT**

John Taylor

CHECKED BY: **CT**

C. Taylor

SCALE: **As Shown**

Dwg. No.	REV.	Size
SS12	B	A1

Joins Sheet SS12



Joins Sheet SS15

LEGEND

- Boundaries Proposed
- Proposed Water main DN1500mm
- Proposed Water main DN3000mm

North arrow pointing North (N), South (S), East (E), and West (W). Scale bar: 0 to 40 Meters. Contour Interval 0.5m.

Arcadia Estate (East) - Water Strategy Plan

- IMPORTANT NOTES:
- THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF MAXIMUM YIELD P/L FOR DEVELOPMENT APPLICATION ONLY.
 - ALL DIMENSIONS & AREAS WILL BE SUBJECT TO FINAL DESIGN AND LOT REGISTRATION.
 - THIS LAYOUT IS INDICATIVE ONLY & SHALL NOT BE USED FOR CONSTRUCTION.
 - DETAILED DESIGN TO BE PROVIDED WITH THE APPLICATION FOR SUBDIVISION WORKS CERTIFICATE FOR EACH STAGE.
 - CONTOUR INTERVAL 0.5m.
 - EXISTING SERVICES AS SHOWN HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. NO UNDERGROUND SERVICE LOCATION HAS BEEN UNDERTAKEN TO PREPARE THIS PLAN.
 - BASE SURVEY PREPARED BY BROWN & KRIPNER Pty Ltd.

B	06/07/2023	FOR APPROVAL	CT
A	21/06/2023	PRELIMINARY	CT
Issue Date		Description	By



CSO ENGINEERS Pty Ltd All rights reserved 2013. Copyright in the whole and every part of this drawing belongs to CSO ENGINEERS Pty Ltd and may not be used, sold, transferred, copied or reproduced in whole or in part in any manner or form on any media to any person other than by agreement with CSO ENGINEERS Pty Ltd.

This document is produced by CSO ENGINEERS Pty Ltd solely for the benefit and use by the client in accordance with the terms of the client agreement. CSO ENGINEERS Pty Ltd does not, and shall not assume any responsibility or liability whatsoever to any third party on the content of the document.



CSO ENGINEERS
Taminda Business & Lifestyle Park
Level 2, 10/1a Wirraway Street
Tamworth NSW 2340
mail@csengineers.com t 0418 385 515
www.csoengineers.com

PROJECT: **ARCADIA ESTATE**
LOCATION: **SOUTH TAMWORTH
NSW 2340**

DOCUMENT STAGE:
DA APPROVAL

DESCRIPTION: **SUBDIVISION LAYOUT**

CLIENT: **MAXIMUM YIELD & BURKES GULLY INVESTMENTS**

JOB NUMBER	SHEET	TITLE
C19291	18 of 20	WATER SERVICE 3

DRAWN BY: **JT**

CHECKED BY: **CT**

SCALE: **As Shown**

Dwg. No.	REV.	Size
SS13	B	A1

Joins Sheet SS12



LEGEND

- Boundaries Proposed
- Proposed Water main DN1500mm
- Proposed Water main DN3000mm

North arrow pointing North (N), West (W), East (E), and South (S).
Scale bar: 0 to 20 Meters, 1:1000.
Contour Interval 0.5m

Joins Sheet SS15

Arcadia Estate (East) - Water Strategy Plan

- IMPORTANT NOTES:
- THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF MAXIMUM YIELD P/L FOR DEVELOPMENT APPLICATION ONLY.
 - ALL DIMENSIONS & AREAS WILL BE SUBJECT TO FINAL DESIGN AND LOT REGISTRATION.
 - THIS LAYOUT IS INDICATIVE ONLY & SHALL NOT BE USED FOR CONSTRUCTION.
 - DETAILED DESIGN TO BE PROVIDED WITH THE APPLICATION FOR SUBDIVISION WORKS CERTIFICATE FOR EACH STAGE.
 - CONTOUR INTERVAL 0.5m.
 - EXISTING SERVICES AS SHOWN HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. NO UNDERGROUND SERVICE LOCATION HAS BEEN UNDERTAKEN TO PREPARE THIS PLAN.
 - BASE SURVEY PREPARED BY BROWN & KRIPNER Pty Ltd.

B	06/07/2023	FOR APPROVAL	CT
A	21/06/2023	PRELIMINARY	CT
Issue Date		Description	By



CSO ENGINEERS Pty Ltd All rights reserved 2013. Copyright in the whole and every part of this drawing belongs to CSO ENGINEERS Pty Ltd and may not be used, sold, transferred, copied or reproduced in whole or in part in any manner or form on any media to any person other than by agreement with CSO ENGINEERS Pty Ltd.

This document is produced by CSO ENGINEERS Pty Ltd solely for the benefit and use by the client in accordance with the terms of the client agreement. CSO ENGINEERS Pty Ltd does not, and shall not assume any responsibility or liability whatsoever to any third party on the content of the document.



CSO ENGINEERS
Taminda Business & Lifestyle Park
Level 2, 10/1a Wirraway Street
Tamworth NSW 2340
mail@csengineers.com t 0418 385 515
www.csengineers.com

PROJECT: **ARCADIA ESTATE**
LOCATION: **SOUTH TAMWORTH
NSW 2340**

DOCUMENT STAGE:
DA APPROVAL

DESCRIPTION: **SUBDIVISION LAYOUT**

CLIENT: **MAXIMUM YIELD & BURKES GULLY INVESTMENTS**

JOB NUMBER	SHEET	TITLE
C19291	17 of 20	WATER SERVICE 2

DRAWN BY: **JT**

John Taylor

SCALE: **As Shown**

CHECKED BY: **CT**

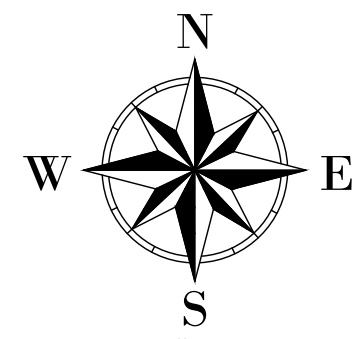
C. Taylor

Dwg. No.	REV.	Size
SS12	B	A1

Joins Sheet SS13

LEGEND

- Boundaries Proposed
Proposed Water main DN1500mm
Proposed Water main DN3000mm



1:1000

Contour Interval 0.5m

Joins Sheet SS14

Arcadia Estate (East) - Water Strategy Plan

- IMPORTANT NOTES:
- THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF MAXIMUM YIELD P/L FOR DEVELOPMENT APPLICATION ONLY.
 - ALL DIMENSIONS & AREAS WILL BE SUBJECT TO FINAL DESIGN AND LOT REGISTRATION.
 - THIS LAYOUT IS INDICATIVE ONLY & SHALL NOT BE USED FOR CONSTRUCTION.
 - DETAILED DESIGN TO BE PROVIDED WITH THE APPLICATION FOR SUBDIVISION WORKS CERTIFICATE FOR EACH STAGE.
 - CONTOUR INTERVAL 0.5m.
 - EXISTING SERVICES AS SHOWN HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. NO UNDERGROUND SERVICE LOCATION HAS BEEN UNDERTAKEN TO PREPARE THIS PLAN.
 - BASE SURVEY PREPARED BY BROWN & KRIPNER Pty Ltd.

B	06/07/2023	FOR APPROVAL	CT
A	21/06/2023	PRELIMINARY	CT
Issue Date		Description	By



CSO ENGINEERS Pty Ltd All rights reserved 2013. Copyright in the whole and every part of this drawing belongs to CSO ENGINEERS Pty Ltd and may not be used, sold, transferred, copied or reproduced in whole or in part in any manner or form on any media to any person other than by agreement with CSO ENGINEERS Pty Ltd.

This document is produced by CSO ENGINEERS Pty Ltd solely for the benefit and use by the client in accordance with the terms of the client agreement. CSO ENGINEERS Pty Ltd does not, and shall not assume any responsibility or liability whatsoever to any third party on the content of the document.



CSO ENGINEERS
Taminda Business & Lifestyle Park
Level 2, 10/1a Wirraway Street
Tamworth NSW 2340
mail@csengineers.com t 0418 385 515
www.csengineers.com

PROJECT: **ARCADIA ESTATE**
LOCATION: **SOUTH TAMWORTH**
NSW 2340

DOCUMENT STAGE:
DA APPROVAL

DESCRIPTION: **SUBDIVISION LAYOUT**

CLIENT: **MAXIMUM YIELD & BURKES GULLY INVESTMENTS**

JOB NUMBER	SHEET	TITLE
C19291	18 of 20	WATER SERVICE 3

DRAWN BY: **JT**

John Taylor

CHECKED BY: **CT**

C. Taylor

SCALE: **As Shown**

Dwg. No.	REV.	Size
SS13	B	A1